



REPORT

**18667 Mississauga Road, Town of Caledon,
Municipality of Peel, Ontario**

Cultural Heritage Documentation Report

Submitted to:

CBM Aggregates

Submitted by:

WSP Canada Inc.

3450 Harvester Road
Burlington, Ontario, Canada L7N 3J1

CA-GLD-19129150

May 27, 2026



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Executive Summary

WSP Environment & Infrastructure Canada Limited (WSP) was retained by CBM Aggregates (CBM), a division of St. Marys Cement Inc. (Canada), to complete a Cultural Heritage Documentation Report (CHDR) for 18667 Mississauga Road in the Town of Caledon, Regional Municipality of Peel, Ontario (the Study Area). The rectangular-shaped, 39.7-hectare (98-acre) Study Area is located on the northeast side of Mississauga Road, approximately 700 m northwest of Charleston Sideroad and is surrounded by agricultural lands. Within the Study Area is a storey-and-a-half vernacular style residence constructed between 1846 and 1858 with attached 19th-century summer kitchen built between 1861 and 1891 and 20th century addition, and an H-shaped barn complex and drive shed added in the late 19th to early 20th century. The Town of Caledon issued a Notice of Intention to Designate (NOID) for the Study Area under Part IV of the *Ontario Heritage Act* on March 12, 2024. The Study Area is not identified as a cultural heritage landscape in the Town's Cultural Heritage Landscape Inventory (Scheinman 2009).

CBM intends to develop the Study Area as part of the 261.2-hectare CBM Caledon Pit / Quarry site licensed under the *Aggregate Resources Act* and designated or zoned under the *Planning Act* (the Project). A Cultural Heritage Report: Existing Conditions and Preliminary Impact Assessment (Cultural Heritage Report) completed for the Project determined that the Study Area may meet the criteria prescribed in Ontario Regulation 9/06 (O. Reg. 9/06, amended through O. Reg. 569/22) of the *Ontario Heritage Act* and recommended a Heritage Impact Assessment (HIA) to address the Project's potential impacts to the Study Area's potential heritage attributes (WSP 2022, WSP 2026a). The HIA determined that the Study Area possesses Cultural Heritage Value or Interest and recommended that, as a conservation method, the barn complex (South Barn, North Barn, and Connecting Shed), Drive Shed, and landscape elements (fieldstone walls and treeline) be documented in a CHDR (WSP 2026b).

Preparation of this CHDR was guided by the Town's *Terms of Reference: Documentation Report and Salvage Plan for Cultural Heritage Resources*.

Accordingly, WSP makes the following recommendations:

- 1) This report serves as sufficient "preservation by record" for the barn complex (South Barn, North Barn, and Connecting Shed), Drive Shed, and landscape elements (fieldstone walls and treeline) in the Study Area,
- 2) The following should be considered for Salvage:
 - Fieldstone in South Barn and North Barn as well as along driveway and Mississauga Road
 - Cut Stone Quoins in South Barn foundation
 - Structural timbers in South Barn, North Barn, Connecting Shed, and Drive Shed
 - Wood plank cladding on North Barn and Drive Shed
 - Cut wood on South Barn, North Barn, and Drive Shed
- 3) This report should be deposited with the Caledon Public Archives and Peel Art Gallery Museum and Archives for information purposes.

Disclaimer

WSP Canada Inc. (WSP) prepared this report solely for the use of the intended recipient, CBM Aggregates, in accordance with the professional services agreement between the parties. In the event a contract has not been executed, the parties agree that the WSP General Terms for Consultant shall govern their business relationship which was provided to you prior to the preparation of this report.

The report is intended to be used in its entirety. No excerpts may be taken to be representative of the findings in the assessment.

The conclusions presented in this report are based on work performed by trained, professional, and technical staff, in accordance with their reasonable interpretation of current and accepted engineering and scientific practices at the time the work was performed.

The content and opinions contained in the present report are based on the observations and/or information available to WSP at the time of preparation, using investigation techniques and engineering analysis methods consistent with those ordinarily exercised by WSP and other engineering/scientific practitioners working under similar conditions, and subject to the same time, financial and physical constraints applicable to this project.

WSP disclaims any obligation to update this report if, after the date of this report, any conditions appear to differ significantly from those presented in this report; however, WSP reserves the right to amend or supplement this report based on additional information, documentation or evidence.

WSP makes no other representations whatsoever concerning the legal significance of its findings.

The intended recipient is solely responsible for the disclosure of any information contained in this report. If a third party makes use of, relies on, or makes decisions in accordance with this report, said third party is solely responsible for such use, reliance or decisions. WSP does not accept responsibility for damages, if any, suffered by any third party as a result of decisions made or actions taken by said third party based on this report.

WSP has provided services to the intended recipient in accordance with the professional services agreement between the parties and in a manner consistent with that degree of care, skill and diligence normally provided by members of the same profession performing the same or comparable services in respect of projects of a similar nature in similar circumstances. It is understood and agreed by WSP and the recipient of this report that WSP provides no warranty, express or implied, of any kind. Without limiting the generality of the foregoing, it is agreed and understood by WSP and the recipient of this report that WSP makes no representation or warranty whatsoever as to the sufficiency of its scope of work for the purpose sought by the recipient of this report.

In preparing this report, WSP has relied in good faith on information provided by others, as noted in the report. WSP has reasonably assumed that the information provided is correct and WSP is not responsible for the accuracy or completeness of such information.

Benchmark and elevations used in this report are primarily to establish relative elevation differences between the specific testing and/or sampling locations and should not be used for other purposes, such as grading, excavating, construction, planning, development, etc.

Design recommendations given in this report are applicable only to the project and areas as described in the text and then only if constructed in accordance with the details stated in this report. The comments made in this report provides no warranty, express or implied, of any kind. Without limiting the generality of the foregoing, it is agreed and understood by WSP and the recipient of this report that WSP makes no representation or warranty whatsoever as to the sufficiency of its scope of work for the purpose sought by the recipient of this report.

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This limitations statement is considered an integral part of this report.

Abbreviations

CHDR	Cultural Heritage Documentation Report
CHER	Cultural Heritage Evaluation Report
CHRA	Cultural Heritage Resource Assessment
CHSR	Cultural Heritage Screening Report
CHVI	Cultural Heritage Value or Interest
HIA	Heritage Impact Assessment
MCM	Ministry of Citizenship and Multiculturalism
OHA	Ontario Heritage Act
O. Reg.	Ontario Regulation
PPS	Provincial Planning Statement
SCHV	Statement of Cultural Heritage Value or Interest

Glossary

Adjacent lands	Those lands contiguous to a protected heritage property or as otherwise defined in the municipal official plan (PPS 2024).
Built Heritage Resource:	<p>Means a building, structure, monument, installation or any manufactured or constructed part or remnant that contributes to a property's cultural heritage value or interest as identified by a community, including an Indigenous community (PPS 2024).</p> <p>Built heritage resources are located on property that may be designated under Parts IV or V of the <i>Ontario Heritage Act</i>, or that may be included on local, provincial, federal and/or international registers.</p>
Conserved:	<p>Means the identification, protection, management and use of built heritage resources, cultural heritage landscapes and archaeological resources in a manner that ensures their cultural heritage value or interest is retained. This may be achieved by the implementation of recommendations set out in a conservation plan, archaeological assessment, and/or heritage impact assessment that has been approved, accepted or adopted by the relevant planning authority and/or decision maker. Mitigative measures and/or alternative development approaches can be included in these plans and assessments (PPS 2024).</p>
Cultural Heritage Landscape:	<p>Means a defined geographical area that may have been modified by human activity and is identified as having cultural heritage value or interest by a community, including an Indigenous community. The area may include features such as buildings, structures, spaces, views, archaeological sites or natural elements that are valued together for their interrelationship, meaning or association (PPS 2024).</p> <p>Cultural heritage landscapes may be properties that have been determined to have cultural heritage value or interest under the <i>Ontario Heritage Act</i>, or have been included on federal and/or international registers, and/or protected through official plan, zoning by-law, or other land use planning mechanisms.</p>

Heritage Attributes:	<p>Means, as defined under the <i>Ontario Heritage Act</i>, in relation to real property, and to the buildings and structures on the real property, the attributes of the property, buildings and structures that contribute to their cultural heritage value or interest (PPS 2024).</p> <p>Heritage attributes are the principal features or elements that contribute to a protected heritage property's cultural heritage value or interest, and may include the property's built, constructed, or manufactured elements, as well as natural landforms, vegetation, water features, and its visual setting (e.g. significant views or vistas to or from a protected heritage property).</p>
Protected Heritage Property:	<p>Means property designated under Part IV or VI of the <i>Ontario Heritage Act</i>; property included in an area designated as a heritage conservation district under Part V of the <i>Ontario Heritage Act</i>; property subject to a heritage conservation easement or covenant under Part II or IV of the <i>Ontario Heritage Act</i>; property identified by a provincial ministry or a prescribed public body as a property having cultural heritage value or interest under the <i>Standards and Guidelines for the Conservation of Provincial Heritage Properties</i>; property protected under federal heritage legislation; and UNESCO World Heritage Sites (PPS 2024).</p>
Significant:	<p>In regard to cultural heritage and archaeology, resources that have been determined to have cultural heritage value or interest. Processes and criteria for determining cultural heritage value or interest are established by the Province under the authority of the <i>Ontario Heritage Act</i> (PPS 2024).</p>

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APPENDIX A

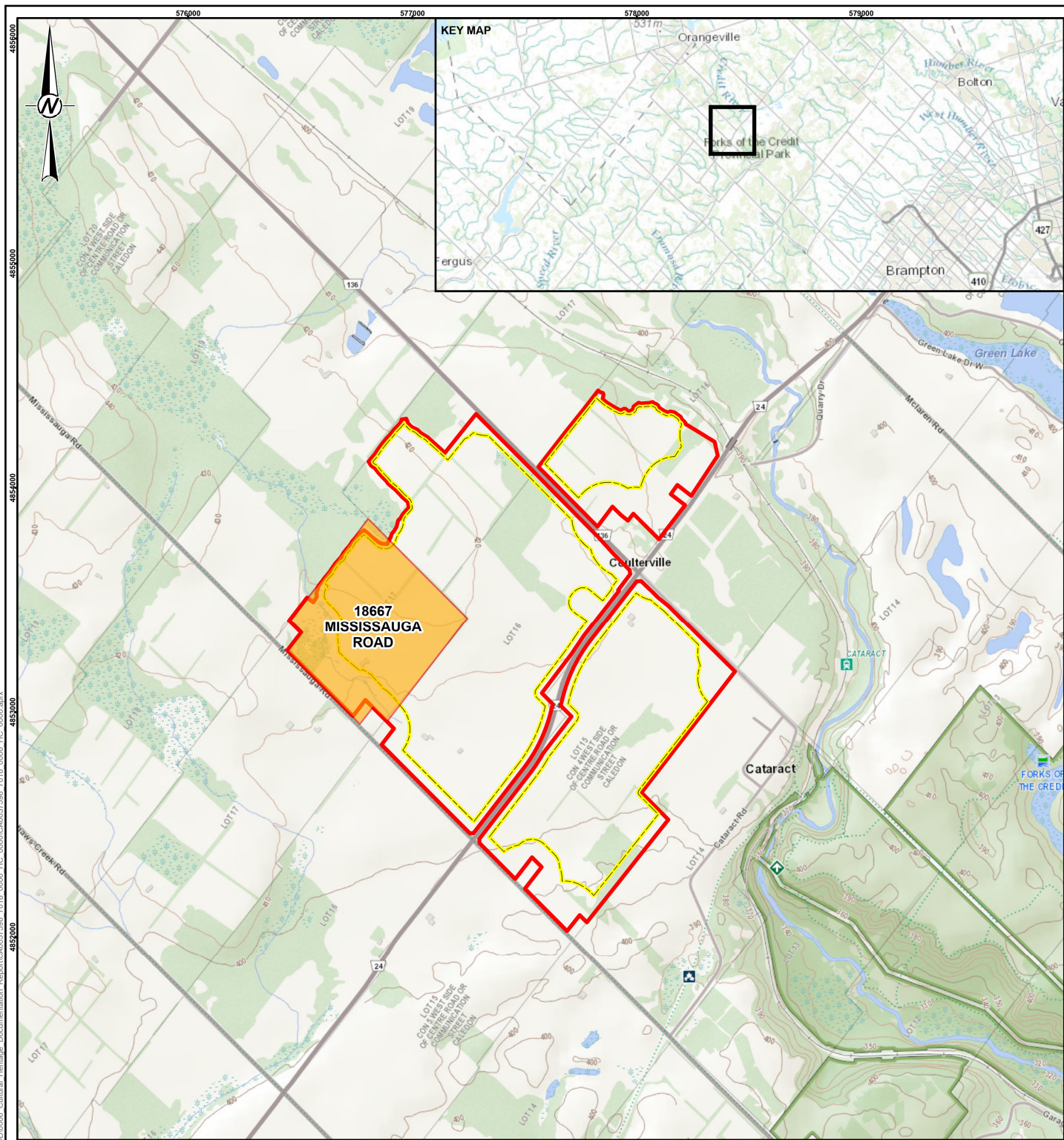
Assessor's Qualification

1 INTRODUCTION

WSP Environment & Infrastructure Canada Limited (WSP) was retained by CBM Aggregates (CBM), a division of St. Marys Cement Inc. (Canada), to complete a Cultural Heritage Documentation Report (CHDR) for 18667 Mississauga Road in the Town of Caledon, Regional Municipality of Peel, Ontario (Study Area) (Figure 1 and Figure 2). The rectangular-shaped, 39.7-hectare (98-acre) Study Area is located on the northeast side of Mississauga Road, approximately 700 m northwest of Charleston Sideroad and is surrounded by agricultural lands. Within the Study Area is a storey-and-a-half vernacular style residence constructed between 1846 and 1858 with attached 19th century summer kitchen built between 1861 and 1891 and 20th century addition, and an H-shaped barn complex and drive shed added in the late 19th to early 20th century. The Town of Caledon issued a Notice of Intention to Designate (NOID) for the Study Area under Part IV of the *Ontario Heritage Act* on March 12, 2024. The Study Area is not identified as a cultural heritage landscape in the Town's Cultural Heritage Landscape Inventory (Scheinman 2009).

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Preparation of this CHDR was guided by the Town's Terms of Reference: Documentation Report and Salvage Plan for Cultural Heritage Resources (Town of Caledon 2024b).



LEGEND

- STUDY AREA
- LICENCE BOUNDARY
- LIMIT OF EXTRACTION



NOTE(S)

1. ALL LOCATIONS ARE APPROXIMATE

REFERENCE(S)

1. LIO TOPOGRAPHIC DATA CACHE, ONTARIO MINISTRY OF NATURAL RESOURCES AND FORESTRY. OPEN GOVERNMENT LICENCE – ONTARIO
2. SERVICE LAYER CREDITS: WORLD TOPOGRAPHIC MAP: CITY OF BRAMPTON, REGION OF PEEL, ONTARIO BASE MAP, PROVINCE OF ONTARIO, ONTARIO MNR, ESRI CANADA, ESRI, © OPENSTREETMAP CONTRIBUTORS, HERE, GARMIN, USGS, NGA, EPA, USDA, NPS, AAFC, NRCAN

LIO CARTOGRAPHIC/LIO_TOPOGRAPHIC:
 3. PROJECTION: TRANSVERSE MERCATOR DATUM: NAD 83
 COORDINATE SYSTEM: UTM ZONE 17 VERTICAL DATUM: CGVD28

CLIENT

CBM AGGREGATES, A DIVISION OF ST. MARYS CEMENT INC. (CANADA)

PROJECT

CULTURAL HERITAGE DOCUMENTATION REPORT, 18667 MISSISSAUGA ROAD, TOWN OF CALEDON, REGIONAL MUNICIPALITY OF PEEL, ONTARIO

TITLE

LOCATION OF STUDY AREA

CONSULTANT



YYYY-MM-DD	2023-07-31
DESIGNED	SO
PREPARED	SA/MC
REVIEWED	JK
APPROVED	JK

PROJECT NO. CONTROL
 CA0037598.7018 0006

REV. 0

FIGURE 1

1.1 Context and Methodology

1.1.1 Planning Framework

Heritage properties are subject to provincial and municipal planning and policy requirements, as well as guidance developed at the federal and international levels. These have varying levels of authority at the local level, though generally are all considered when making decisions about heritage assets.

1.1.1.1 Provincial Heritage Legislation and Policies

The *Ontario Heritage Act* is the primary piece of legislation that determines policies, priorities, and programs for the conservation of Ontario’s cultural heritage. Other provincial legislation applicable to this Project includes the *Planning Act* and the *Provincial Planning Statement 2024* (PPS 2024). A summary of applicable provincial legislation and associated guidance documents is provided in Table 1.

Table 1: Provincial Regulatory Requirements

Title	Description
<i>Ontario Heritage Act</i> , R.S.O. 1990, Chapter O. 18	The <i>Ontario Heritage Act</i> , R.S.O. 1990, c. O.18, provides a framework for the protection of cultural heritage resources in the Province. It gives municipalities and the provincial government powers to protect heritage properties and archaeological sites. The <i>Ontario Heritage Act</i> includes two regulations for determining Cultural Heritage Value or Interest (CHVI): <i>Ontario Regulation</i> (O. Reg.) 9/06 and O. Reg. 10/06. O. Reg. 9/06 provides criteria to determine the CHVI of a property at a local level while O. Reg. 10/06 provides criteria to determine if a property has CHVI of provincial significance.
<i>Planning Act</i> , R.S.O. 1990, Chapter P. 13	The <i>Planning Act</i> lays out the “ground rules” for land use planning in Ontario and includes direction for the provincial and local administration on planning matters in the province. The <i>Planning Act</i> also enables municipalities to develop Official Plans, which are to set goals, objectives, and policies (i.e. Official Plans, Secondary Plans, and Heritage Conservation District Plans) that are consistent with the PPS 2024 and other applicable legislation (such as the <i>Ontario Heritage Act</i>) to manage and direct local land use (Government of Ontario 1990b).
Provincial Planning Statement (PPS 2024)	The PPS 2024 provides policy direction to the entire Province of Ontario on matters of provincial interest related to land use planning and development (Government of Ontario 2024). Under the PPS, the conservation of cultural heritage is identified as a matter of provincial interest. Section 4.6 of the PPS gives direction on the consideration of cultural heritage and archaeology (Government of Ontario 2024). Specifically, sections 4.6.1, 4.6.3, and 4.6.5 give direction regarding built heritage resources, cultural heritage landscapes, protected heritage properties, and engagement with Indigenous communities.

1.1.1.2 Municipal Heritage Policies

While it is CBM’s position that Future Caledon does not apply to the CBM Caledon Pit / Quarry Applications, which were submitted in December 2022 and deemed complete in February 2023, a fulsome review of Future Caledon was undertaken and confirmed that CBM’s Applications conform to the Town’s most recent heritage policy updates contained in Future Caledon. This CHDR adheres to heritage policy directives in both the 2018 Official Plan as well as Future Caledon. For a detailed heritage policy analysis, see WSP 2026b and GSAI 2026.

1.1.1.3 Town of Caledon Terms of Reference: Documentation Report and Salvage Plan for Cultural Heritage Reports

In the Town’s *Terms of Reference: Documentation Reports and Salvage Plans for Cultural Heritage Report* (Terms of Reference), the purpose of a documentation report is to, “supplement the historic record and provide

documentation of the features of a property which are of Cultural Heritage Value or Interest for future generations” (Town of Caledon 2024). Required elements of a documentation report are:

- Table of Contents
- Introduction
- Description of Subject Property and Cultural Heritage Resources
- Documentation

2 DESCRIPTION OF SUBJECT PROPERTY AND CULTURAL HERITAGE RESOURCES

The following property description, SCHVI, and list of heritage attributes were prepared by WSP as part of the HIA completed for the Subject Property (WSP 2026b). The SCHVI has been reviewed by heritage planners at the Town and forms part of the Staff Report presented to the Heritage Caledon Committee on February 5, 2024, which recommends the NOID be issued (Town of Caledon 2024a). The list of heritage attributes was finalized in 2025 since an interior inspection of the farmhouse was completed as part of the Heritage Conservation Plan (HCP)

2.1 Description of Property

The property at 18667 Mississauga Road in the Town of Caledon features a mid-19th century farm complex including a vernacular farmhouse and summer kitchen, Central Ontario style barns, mature treelines, and low fieldstone walls. The farmhouse is a one-and-a-half storey vernacular house, constructed as a timber frame house between 1846 and 1858. Subsequent alterations occurred between 1861 and 1891 as the main block was reclad in brick veneer and a rear addition was constructed. The farmhouse has been altered through 20th century additions.

2.2 Statement of Cultural Heritage Value or Interest

Built between 1846 and 1858 for Duncan Cameron Sr., the farmhouse features elements of various styles which were popular as the house evolved over the middle of the 19th century. Constructed as a single storey timber frame house, the house was subsequently expanded and reclad between 1861 and 1891. The use of hand-hewn timbers as floor joists in the main block and the use of hand-hewn timbers and mortise and tenon joinery in the summer kitchen was a common construction method during the early to mid-19th century. The single storey, symmetrical, rectangular form and center-hall floorplan were popular during the early to mid-19th century. When the rear addition was constructed between 1861 and 1891 architectural styles had shifted to embrace elements such as dichromatic brick patterns and accents, and wide porches or verandahs. The farmhouse is set back from the road, accessed by a long driveway lined with mature trees and low fieldstone walls. A late 19th century barn complex is located to the northwest of the farmhouse, featuring two Central Ontario style barns linked by a connecting shed, and a late 19th or early 20th century drive shed is located to the north of the farmhouse. The barn complex and drive shed represent evolved elements of the property that support the farmhouse.

As a 19th century farmstead, the spatial organization and mix of evolved structural elements at 18667 Mississauga Road maintain and support the rural agricultural character of the wider area. The farmhouse is situated in an agricultural or rural setting, nestled among several 19th century farmsteads in close proximity, most of which are listed on the Town of Caledon's Heritage Register. Many of these properties were granted to and owned by various members of the Cameron family in the 19th and early 20th centuries. These properties, at 18501 Mississauga Road (built by John Cameron and passed to his son James), 18667 Mississauga Road (built shortly after by John's son, Duncan Cameron Sr.), 18722 Main Street (built later, by Duncan Sr's son, James), and 1420 Charleston Sideroad (built later, by John's grandson, George), are physically and historically linked to each other and the Cameron family. The house, barn complex, fieldstone walls, and mature vegetation on the property are both physically and historically linked to each other and physically and historically linked to their surroundings.

2.3 List of Heritage Attributes

Heritage attributes that contribute to the CHVI of 18667 Mississauga Road include:

- Residence main block:
 - Rectangular footprint with side hall floorplan
 - Parged stone foundations
 - Hand hewn timber floor joists
 - Gable roof
 - Red brick (stretcher bond) with contrasting buff coloured brick detailing including:
 - Quoins
 - Decorative diamond pattern on gable of southeast elevation
 - Stretcher and soldier brick flat arches above openings
 - Wood frame six-over-six and storm windows
 - Decorative wood trim and pilasters around original, formal, entrance on southeast elevation
 - Original Greek Revival doors (both exterior and interior).
- Summer Kitchen
 - Hand hewn timber frame
 - Use of mortise and tenon joinery with wood nails/dowels
 - Pit sawn board roof sheathing
- Side addition:
 - Sympathetic red brick construction laid in Common (one-in-five, also known as American) bond pattern with contrasting buff coloured detailing including:
 - Quoins
 - Stretcher and soldier brick flat arches above openings
 - Original six-over-six and storm windows.
- Landscape elements that generally support the CHVI of the property, including:
 - The barn complex and drive shed represent late 19th to early 20th century additions to the farm complex, evolved elements of the property that support the farmhouse.
 - Mature tree lines along driveway and ROW
 - Fieldstone walls at the foot of the driveway

3 DOCUMENTATION

A site visit was conducted on January 10, 2025 by WSP Cultural Heritage Team Lead Heidi Schopf and WSP Junior Cultural Heritage Specialist Meghan McKay. The weather was overcast but clear. The site visit confirmed that no significant changes had occurred from the conditions observed in the 2026 HIA.

3.1 Location Context

The Study Area is situated on the northeast side of Mississauga Road, approximately 700 metres northwest of Charleston Sideroad (Plate 1 and Plate 2). The surrounding area is generally agricultural and rural residential, and the broader area has a history of aggregate extraction as well (Plate 3 and Plate 4). The Credit River flows approximately 1 km east of the Study Area, and the community of Cataract is situated about 800 meters southeast along the river.

The properties on all sides of the Study Area are rural agricultural. At the time of report writing, 18501 Mississauga Road is subject to a NOID (Town of Caledon 2024a) and a portion of the properties at 1420 Charleston Sideroad and 18722 Main Street were designated on February 24, 2026 (Plate 5 to Plate 7). Historically, these properties were all granted to and owned by various members of the Cameron family in the 19th century.



Plate 1: View south on Mississauga Road



Plate 2: View north on Mississauga Road



Plate 3: View across the Study Area of small pond (foreground) and agricultural fields



Plate 4: View from the driveway of the barn complex



Plate 5: Farmscape at 18501 Mississauga Road



Plate 6: Farmscape at 18722 Main Street



Plate 7: Farmhouse at 1420 Charleston Sideroad

3.2 Landscape Context

The approximately 98-acre Study Area features the farmhouse and additions, H-shaped barn complex, a drive shed, a steel-clad shed, a creek and artificial pond, a driveway lined with trees and fieldstone walls, and cultivated fields (Plate 8; Figure 2).

The farmhouse and outbuilding complex is accessed from Mississauga Road by a long and straight gravel driveway lined with mature trees that also extend along the north side of the road right-of-way (ROW). Dry-laid fieldstone walls border the south portion of the driveway as well as along the north side of the road ROW (*Plate 9*). Circulation routes link the building complex with the surrounding agricultural fields and a stream traverses the Study Area (*Plate 10*).

Piles of fieldstone mark the edges of the Study Area's agricultural fields, while wire fencing lines the boundary between the Study Area and the Mississauga Road ROW. At the west corner of the Study Area is an approximately 4.9-hectare wooded section and an artificial pond is south of the farmhouse (*Plate 11*).



Plate 8: Overview of built environment in the Study Area



Plate 9: View from the driveway towards the farmhouse, artificial pond and outbuildings



Plate 10: View from the driveway towards the main barn complex



Plate 11: Mature trees and low fieldstone wall lining the driveway



Plate 12: Section of low fieldstone wall



Plate 13: Creek running under the driveway



Plate 14: Artificial pond in front of the farmhouse

3.3 Built Environment

3.3.1 Barn Complex

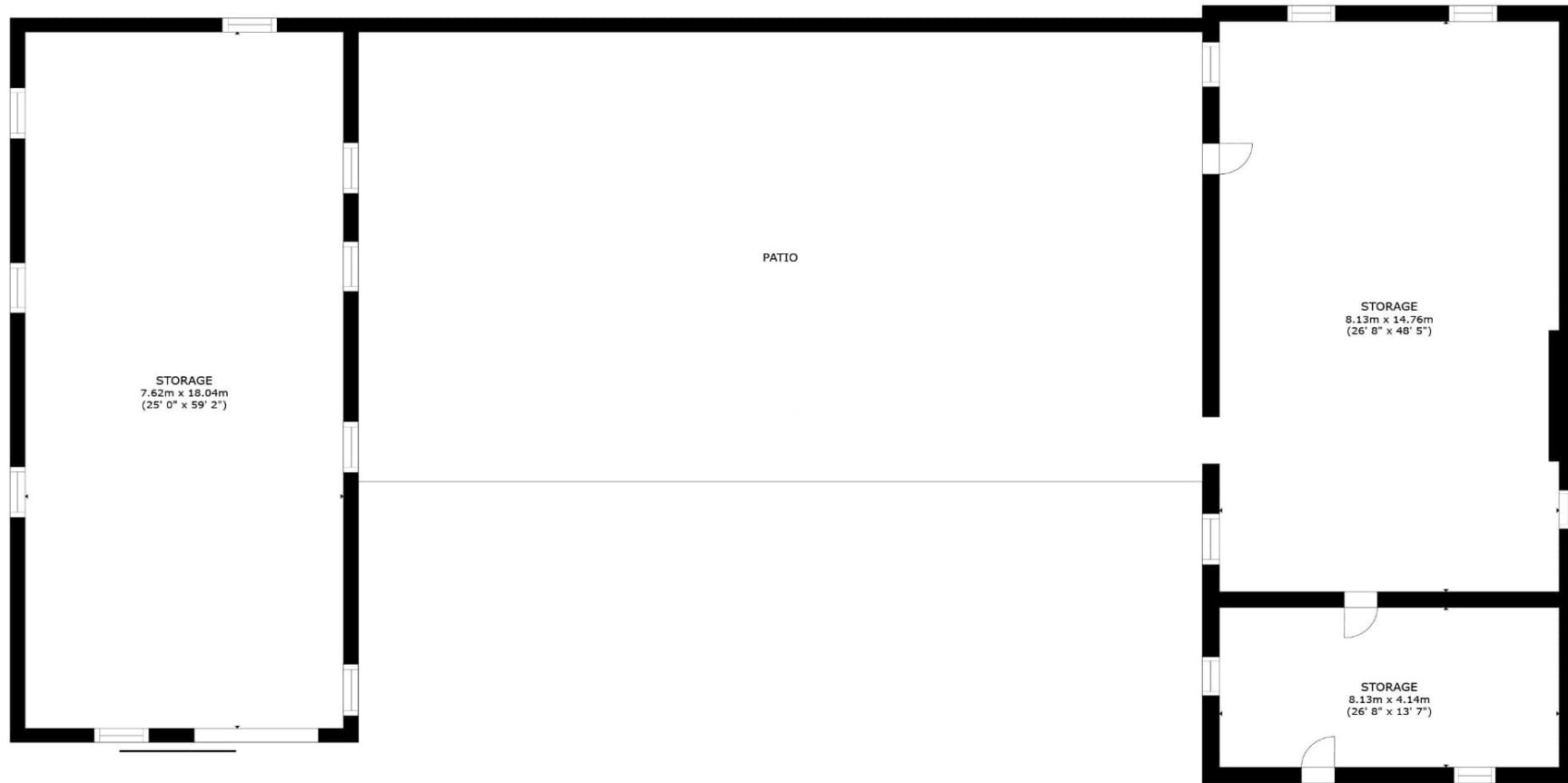
The barn complex northwest of the farmhouse comprises two large barns (South Barn and North Barn) linked by a drive shed (Connecting Shed), forming an H-shaped footprint (Plate 15 and Plate 16; Figure 3 and Figure 4).



Plate 15: South and east elevations of the H-shaped barn complex (South Barn outlined in red, drive shed outlined in yellow, North Barn outlined in green)



Plate 16: North and west elevations of the H-shaped barn complex (North Barn outlined in green, drive shed outlined in yellow, South Barn outlined in red)



FLOOR PLAN

GROSS INTERNAL AREA
FLOOR PLAN 294.4 m² (3,169 sq.ft.)
EXCLUDED AREAS : PATIO 235.3 m² (2,532 sq.ft.)
TOTAL : 294.4 m² (3,169 sq.ft.)
SIZES AND DIMENSIONS ARE APPROXIMATE, ACTUAL MAY VARY.



Figure 3: Floor plan of barn complex

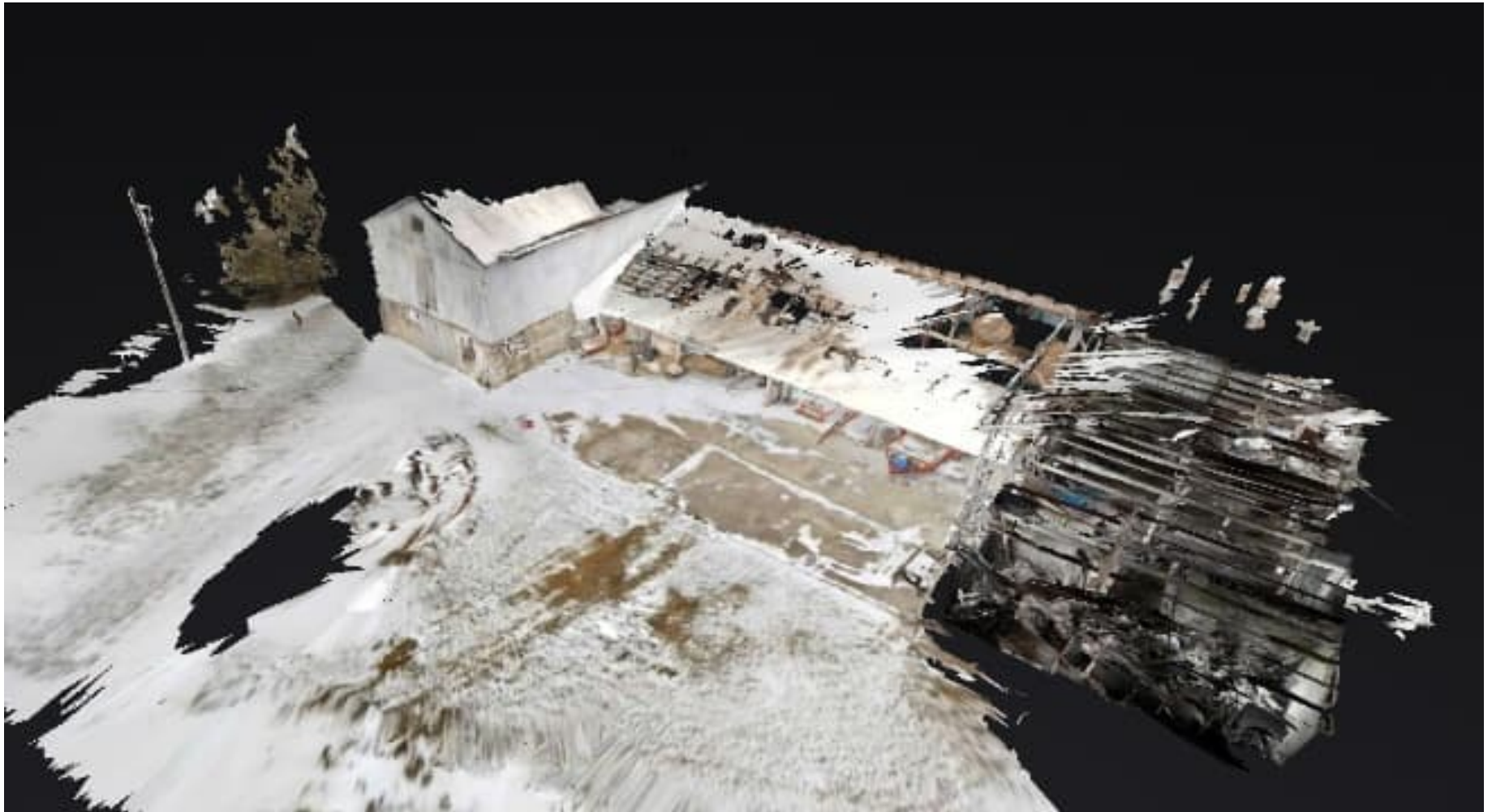


Figure 4: Oblique cutaway view of the barn complex

3.3.1.1 *South Barn Exterior*

The South Barn has a parged fieldstone foundation with cut-stone quoins at the ground level, and is timber framed with aluminum cladding and a front gable roof at the second level (Plate 17 to Plate 21). The South Barn has a rectangular plan and measures 7.62 m x 18.04 m.

On the east elevation is a window and offset sliding wood plank door (Plate 18) at the foundation, a tall wood plank door centred at the second level, and a square, four-paned window at the gable.

The south elevation foundation has lost much of its ashlar parging (Plate 19 and Plate 20) and has three, asymmetrically placed, wide windows on the foundation: one with four panes, one with a single pane (Plate 22), and one that is blind (Plate 23). Another window with a single pane is offset at the second level (Plate 21).

The west elevation has two symmetrically placed and wide windows at the foundation, one with four-over-four panes and the other blind (Plate 24 and Plate 25). A door is centrally located at the second level and adjacent to it is an exposed section of framing. A two-pane window is centred at the gable (Plate 26).

The north elevation of the South Barn is partially obscured by the Connecting Shed (Plate 27). There is a blind window on the east side of this elevation, near the corner (Plate 28), and a blind entryway at the centre of the elevation underneath the Connecting Shed.



Plate 17: The South Barn



Plate 18: East elevation of the South Barn



Plate 19: South elevation of the South Barn



Plate 20: Partially parged fieldstone foundations



Plate 21: Cut stone quoining



Plate 22: Windows of the south elevation



Plate 23: Window on the south elevation



Plate 24: Blind window on the south elevation



Plate 25: West elevation of the South Barn



Plate 26: Windows in the fieldstone foundation



Plate 27: Upper-level door, exposed framing, gable window



Plate 28: Oblique view of South Barn



Plate 29: Blind window

3.3.1.2 South Barn Interior

Inside the South Barn is an open area at the lower level used to store farm equipment and an open area in the upper level for hay storage (Plate 30). The timber framing in the lower floor ceiling comprises a hand-squared sill with redundant mortises (indicating it to be salvaged from another structure), central log beam running longitudinally and supported by log posts, and joists that are a mix of hand-squared (also with redundant mortises) and log (Plate 32, Plate 33 and Plate 34). On the south side of the interior is an opening with wooden ladder leading to the second level (Plate 33).



Plate 30: Lower level interior



Plate 31: Upper level interior



Plate 32: Hand-squared sill with redundant mortises supporting log joists



Plate 33: Longitudinal beam supported by posts



Plate 34: Redundant mortices in the hand squared joists



Plate 35: Ladder leading to the second level

3.3.1.3 Connecting Shed

The Connecting Shed is used as a drive shed and is built with dimensional lumber and timber posts likely recycled from another structure. The Connecting Shed has a rectangular plan and measures approximately 12 m x 18 m. It has a metal-clad saltbox-type roof and is open on the east elevation (Plate 36 to Plate 39). Sections of stone walling within the Connecting Shed are remnants of the original two-level structure in this location (Plate 40 to Plate 43). There is no fenestration on the west elevation (Plate 42). The current Connecting Shed was constructed between the 1950s and 1970s.



Plate 36: East elevation of the Connecting Shed



Plate 37: Open bays of the Connecting Shed



Plate 38: Recycled timber posts paired with dimensional lumber framing



Plate 39: Wood posts and dimensional lumber framing



Plate 40: Stone walling section



Plate 41: Stone walling section



Plate 42: West elevation of the Connecting Shed



Plate 43: Photograph of the Study Area dating to the early 1970s showing the current one-level Connecting Shed



Plate 44: 1985 painting of the Study Area, based on photograph of the Study Area from the 1950s – note the two-level Connecting Shed

3.3.1.4 North Barn Exterior

The North Barn has a parged fieldstone foundation at the ground level and is timber framed with a front gable roof at the second level. The North Barn has a rectangular plan and measures 8.1 m x 18.9 m. Unlike the South Barn, the North Barn does not have cut stone quoins at the foundation and the parging is in concrete, and the cladding is in horizontal wood planking (where it survives). The North Barn is also slightly taller than the South Barn (Plate 45).

The east elevation has an offset entrance with wood plank door (Plate 46) and wide blind window opening in the fieldstone foundation (Plate 47). At the foundation corners are large irregularly squared fieldstones (Plate 48).

The north elevation has an earth ramp that leads to the central bay doors (Plate 49, Plate 50, and Plate 51). The foundation parging here is concrete and has delaminated (Plate 52). There are two symmetrically placed wide windows in the west elevation foundation, both of which have lost their glazing. In the south window opening are paired windows, with one having two-over-two pane arrangement and the other having two-over-four (Plate 53, Plate 54, and Plate 55).

Under the Connecting Shed (Plate 56) on the south elevation is an entrance to the foundation level of the North Barn, while to the east of the door are two window openings. Only the outer window framing survives in the opening nearest the Connecting Shed, while in the other is evidence that this opening initially had paired windows. A piece of plywood blinds the one paired window, but the vertical muntin and one horizontal muntin survive in the other window (Plate 57 and Plate 58).



Plate 45: East elevation of the North Barn



Plate 46: Entrance on the east elevation



Plate 47: Blind window on the east elevation



Plate 48: Irregular cornerstones on the east elevation



Plate 49: North elevation



Plate 50: Central bay doors



Plate 51: East and north elevation



Plate 52: Delaminated concrete parging on the north elevation



Plate 53: West elevation of the North Barn



Plate 54: Window opening on the north side of the west elevation



Plate 55: Paired windows on the south side of the west elevation



Plate 56: South elevation of the North Barn



Plate 57: Partially blind paired window



Plate 58: Wood framed window opening

3.3.2 Drive Shed

East of the barn complex is the timber-framed Drive Shed (Plate 59 to Plate 62). The Drive Shed has a rectangular plan and measures approximately 7 m x 12 m. It has a gable roof with wide plank sheathing covered in corrugated sheet metal; some of the rafters are new wood (Plate 63). At the south gable is a diamond-shaped window (Plate 64) while on the north gable is a diamond-cross owl hole (Plate 65). The outline of the original opening to the drive shed is visible in the board-and-batten siding on the west elevation (Plate 66). The east side of the structure is an open bay.



Plate 59: East elevation of the Drive Shed



Plate 60: South elevation of the Drive Shed



Plate 61: West elevation of the Drive Shed



Plate 62: North elevation of the Drive Shed



Plate 63: Wide plank sheathing on rafters



Plate 64: Diamond-shaped window in south gable



Plate 65: Diamond owl hole on north gable



Plate 66: Outline of original entrance on west elevation

3.3.3 Landscape Elements

The landscape elements that contain CHVI are the low fieldstone wall that runs along either side of the driveway and the mature treeline along the driveway and ROW. The fieldstone wall was most likely constructed of stones picked from the nearby agricultural fields (Plate 67 to Plate 69). The mature tree line along the driveway and ROW acts as a windbreak (Plate 70 to Plate 72).



Plate 67: Portion of the fieldstone wall on the east side of the driveway



Plate 68: Portion of the fieldstone wall on the west side of the driveway



Plate 69: Portion of the fieldstone wall on the east side of the driveway



Plate 70: Mature trees on the east side of the driveway



Plate 71: Mature trees and fieldstone walls lining the driveway



Plate 72: Mature trees lining Mississauga Road to the east of the driveway

4 SALVAGE OPPORTUNITIES

Physical elements identified in this documentation report may be suitable for salvaging. As the built elements of the Study Area will be demolished, items with heritage value may be salvaged and commemorated by being displayed off site or archived in a museum. Items not necessarily of cultural heritage value or interest may be salvaged for other purposes as opposed to being deposited as landfill. Items such as old growth timbers or stone quoins may be of interest to local groups such as the Mennonite or Amish communities who practice traditional building techniques. An overview of items with the potential to be salvaged is presented in Table 2.

Table 2: Overview of Salvage Opportunities

Item	Location	Condition	Salvage Opportunity
Fieldstone	South Barn and North Barn foundation as well as fieldstone walls lining the driveway and Mississauga Road	Good	The fieldstones appear to be in good condition and present an opportunity to be salvaged and used for other purposes as an alternative to being deposited as landfill.
Cut Stone Quoins	South Barn foundation	Good	The cut stone quoins in the south barn foundation appear to be in good condition and present an opportunity to be salvaged and used for other purposes as an alternative to being deposited as landfill.
Timber	Structural timbers in South Barn, Connecting Shed, North Barn, and Drive Shed	Good	A visual inspection of the structural timbers determined some splitting has occurred but overall, the timbers are in good condition. The timbers should be inspected during removal but overall present a good opportunity for salvaging. Those found to be in good condition can be retained and used for other purposes as an alternative to being deposited as landfill.
Wood Plank	Exterior cladding of North Barn and Drive Shed	Fair	A visual inspection of the wood plank determined that, despite sections of significant weathering, particularly on the North Barn, they are overall in good condition. The wood plank should be inspected during removal but overall present a good opportunity for salvaging. Those found to be in good condition can be retained and used for other purposes as an alternative to being deposited as landfill.
Cut Wood	Window frames, sills, and lintels of South Barn, North Barn and Drive Shed.	Good	A visual inspection of the wood window elements determined that, despite sections of significant weathering, they are overall in good condition. The wood should be inspected during removal but overall present a good opportunity for salvaging. Those found to be in good condition can be retained and used for other purposes as an alternative to being deposited as landfill.

Item	Location	Condition	Salvage Opportunity
Windows	North Barn, South Barn, and Drive Shed	Poor	The majority of windows appear to be in poor condition with significant rotting in the wood frames and broken or missing glass. The windows do not present a viable salvage opportunity.

Based on the consideration of salvage opportunities presented in Table 2, the following should be considered for Salvage:

- Fieldstone in South Barn and North Barn as well as along driveway and Mississauga Road
- Cut Stone Quoins in South Barn foundation
- Structural timbers in South Barn, North Barn, Connecting Shed, and Drive Shed
- Wood plank cladding on North Barn and Drive Shed
- Cut wood on South Barn, North Barn, and Drive Shed

5 SUMMARY

WSP was retained by CBM to prepare a CHDR for the Study Area, located at 18667 Mississauga Road in the Town of Caledon. This CHDR was prepared according to the Town of Caledon's *Terms of Reference: Documentation Report and Salvage Plan for Cultural Heritage Resources* and recommends that:

- 1) This report serves as sufficient "preservation by record" for the barn complex (South Barn, North Barn, and Connecting Shed), Drive Shed, and landscape elements (fieldstone walls and treeline) in the Study Area,
- 2) The following should be considered for Salvage:
 - Fieldstone in South Barn and North Barn as well as along driveway and Mississauga Road
 - Cut Stone Quoins in South Barn foundation
 - Structural timbers in South Barn, North Barn, Connecting Shed, and Drive Shed
 - Wood plank cladding on North Barn and Drive Shed
 - Cut wood on South Barn, North Barn, and Drive Shed
- 3) This report should be deposited with the Caledon Public Archives and Peel Art Gallery Museum and Archives for information purposes.

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Signature Page

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APPENDIX A

Assessor's Qualification

Heidy Schopf, MES, CAHP – Cultural Heritage and Social Sciences Team Lead

Heidy Schopf is the Cultural Heritage and Social Sciences Team Lead at WSP. She has worked in the field of cultural resource management since 2007. She is a **Professional Member of the Canadian Association of Heritage Professionals (CAHP)** and is RAQs certified. She has worked on a wide variety of projects throughout Ontario, including Cultural Heritage Reports: Existing Conditions and Preliminary Impact Assessments (Cultural Heritage Reports), Heritage Impact Assessments (HIAs), heritage documentation reports (photographic and 3D/LiDAR), Cultural Heritage Evaluation Reports (CHERs) using Ontario Regulation 9/06 and 10/06, Strategic Conservation Plans (SCP), Heritage Conservation District (HCD) studies and plans, heritage feasibility studies, cultural heritage peer review, and archaeological assessments. Ms. Schopf has extensive experience applying local, Provincial, and Federal heritage guidelines and regulations to evaluate protected and potential cultural heritage properties. She is skilled at carrying out impact assessments and developing mitigation measures to conserve the heritage attributes of properties where changes are proposed. Ms. Schopf has completed hundreds of cultural heritage projects under a variety of processes, including: Environmental Assessment Act, Planning Act, Ontario Heritage Act, Transit Project and Rail Assessment Process, Renewable Energy Approval, Ontario Energy Board, and projects completed under the Impact Assessment Act.

Henry Cary, Ph.D., CAHP, RPA – Senior Cultural Heritage Specialist and Principal Archaeologist

Dr. Henry Cary has over 20 years public and private sector experience directing cultural heritage projects in diverse environments across southern and northern Canada. His expertise is in the historic architecture and cultural landscapes of North America, with specialization in industrial and military heritage. He has produced heritage evaluations, impact assessments and conservation plans for a wide range of properties in Ontario, from a pre-War of 1812 stone house in Niagara to the 1930 Glengrove Transformer Station in Toronto, and multiple properties in heritage conservation districts and character areas in the City of Hamilton, City of Vaughan, and Town of Collingwood. He has also evaluated several industrial sites for Hydro One Networks Inc. and the City of Hamilton and has provided policy advice to the City of Cambridge on managing its heritage structural walls. Prior to joining WSP E&I Canada Limited, Dr. Cary worked for Parks Canada, notably for the Fort Henry National Historic Site Conservation Program and Western Arctic Field Unit, then served as Heritage Manager for the Town of Lunenburg UNESCO World Heritage Site before moving to consulting positions with CH2M and WSP Golder. He is a member of the **Canadian Association of Heritage Professionals (CAHP)** and Register of Professional Archaeologists (RPA).

Johanna Kelly, MSc., CAHP – Senior Cultural Heritage Specialist

Ms. Kelly has worked in the field of Cultural Resource Management since 2007, focusing on above ground heritage resources since 2015. She is fascinated by the way we shape the landscape and structures we interact with and is passionate about telling the story of the places we inhabit and how we can conserve and manage these places for future generations. She is skilled in the identification and evaluation of built heritage resources and cultural heritage landscapes, mitigation of proposed impacts on heritage resources, and conservation methods. She has worked on a wide variety of projects throughout Ontario, including cultural heritage resources assessments, cultural heritage evaluations, heritage impact assessments, documentation reports, conservation plans, heritage conservation district studies and plans, and Stage 1-4 archaeological assessments. Ms. Kelly has extensive experience applying local, Provincial, and Federal heritage guidelines and regulations to evaluate protected and potential cultural heritage properties. Ms. Kelly has completed cultural heritage projects under a variety of processes, including: the *Environmental Assessment Act*, *Planning Act*, *Ontario Heritage Act*, and the *Transit Project Assessment Process*. She is a professional member of the **Canadian Association of Heritage**

Professionals (CAHP) and holds a **Professional Archaeological License** (P1017) issued by the Ministry of Citizenship and Multiculturalism.

Robert Pinchin, B.A. Hons, CAHP – Cultural Heritage Specialist

Mr. Pinchin holds an Honours, B.A. Degree in Canadian History from McMaster University and a Post-Graduate Certificate in Geographic Information Systems from Toronto Metropolitan University. Mr. Pinchin has experience working in cultural heritage preservation and conducting heritage assessments in a wide range of projects. He has experience conducting Environmental Assessments and authoring Cultural Heritage Resource Assessments, Archaeological Assessments, Heritage Impact Assessments, and Cultural Heritage Evaluation Reports. Mr. Pinchin has experience with conducting cultural heritage work for public and private clients in support of infrastructure development, oil and gas projects, utility upgrades, residential development, and more. Mr. Pinchin has experience interpreting and applying municipal, provincial, and federal legislation within the heritage context. He is a professional member of the **Canadian Association of Heritage Professionals (CAHP)**. Mr. Pinchin has experience as an archaeologist during which he conducted stage 1-4 archaeological assessments, identified, and catalogued artifacts, and worked with GIS technologies to map units and site boundaries. In these endeavours Mr. Pinchin has worked closely with First Nation community members across the country in order to develop heritage framework in a comprehensive and compassionate manner.

Meghan Mckay, BA, PGD, CAHP Intern – Junior Cultural Heritage Specialist

Meghan is a passionate heritage professional who strives to conserve heritage for the future. She studied history at Wilfrid Laurier University receiving an honours BA and went on to receiving a Post Graduate Diploma in heritage and interpretation from the University of Leicester. Meghan has worked in the Cultural Resource Management field since 2022.

Meghan has worked on several archaeological and cultural heritage projects throughout Ontario as a heritage professional and archaeological field technician. She has experience working on all stages of archaeological sites as well as working in multiple types of heritage reports such as heritage designations and Heritage Impact Assessments. She also has experience with mapping analysis and archival research.

In addition to her educational and career experience Meghan is also the committee chair for the City of Cambridge Archives and a committee member for the Municipal Heritage Advisory Committee (MHAC) of Cambridge.

